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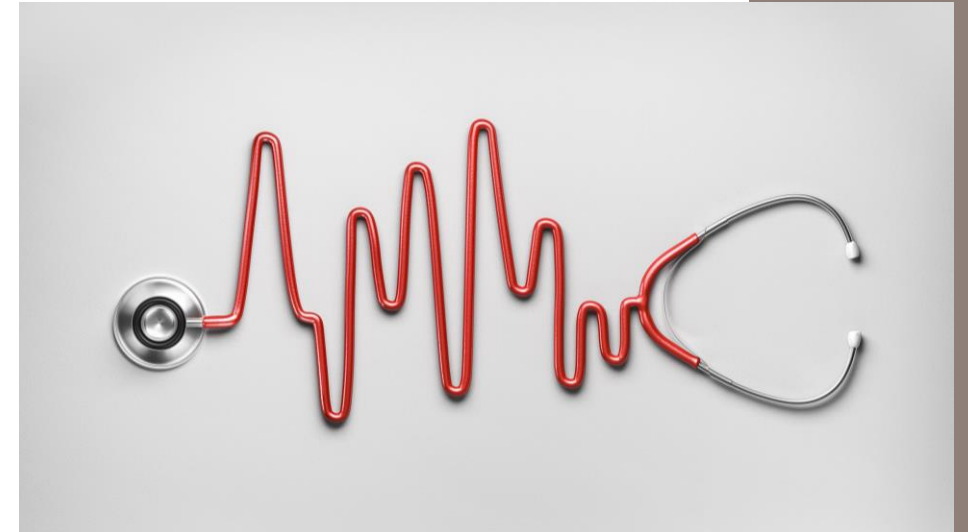
2026

INDUSTRY SENTIMENT



AGENDA

- Pipeline and capacity
- Recovery summary
- Forward workload
- Project Conversion – Spotlight on Auckland
- National Forecasts



Full Sentiment Report released on 28 September

PROFILE



Firms are smaller than '24, working across wider range of projects on decreasing margin

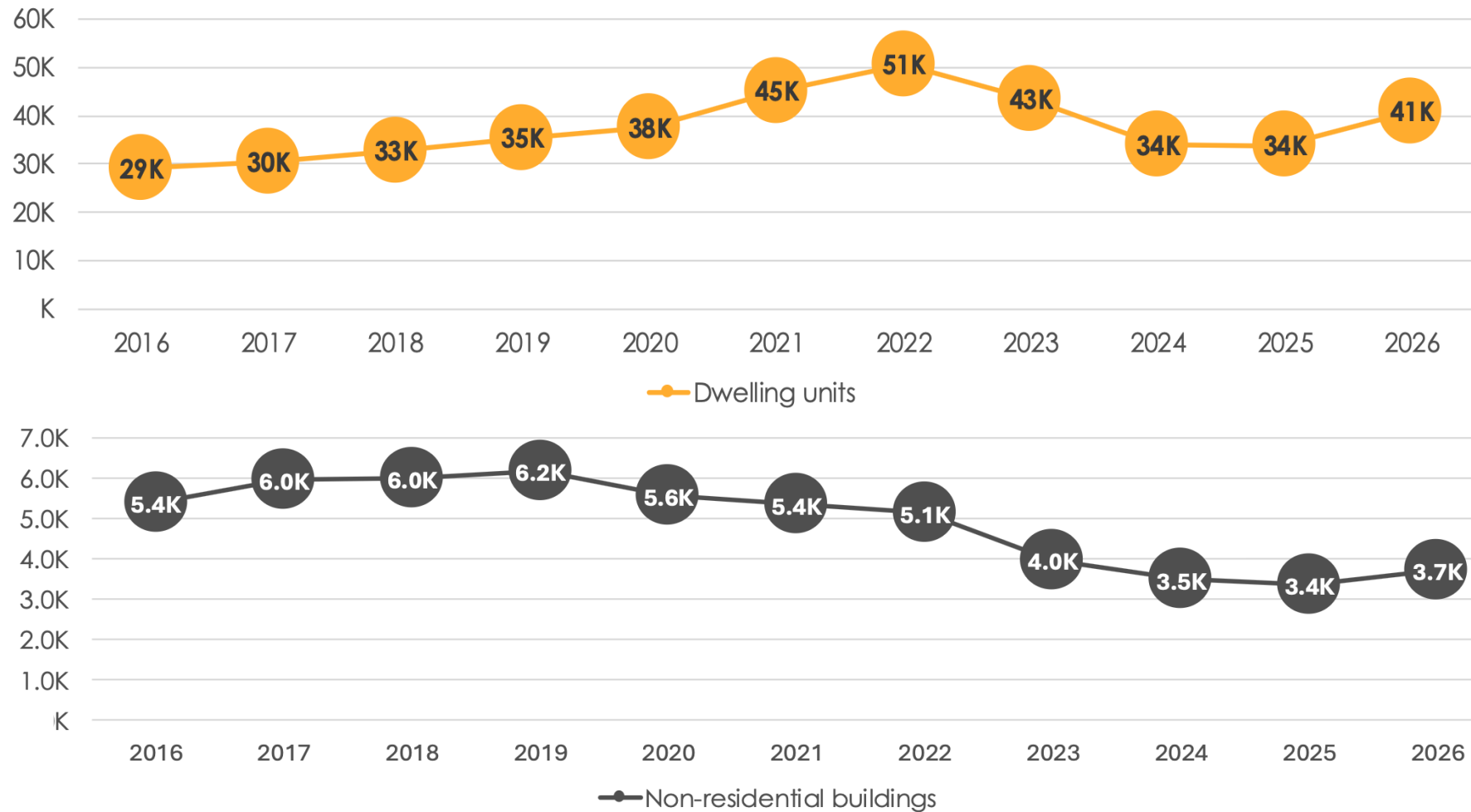




SPECIFIER SENTIMENT

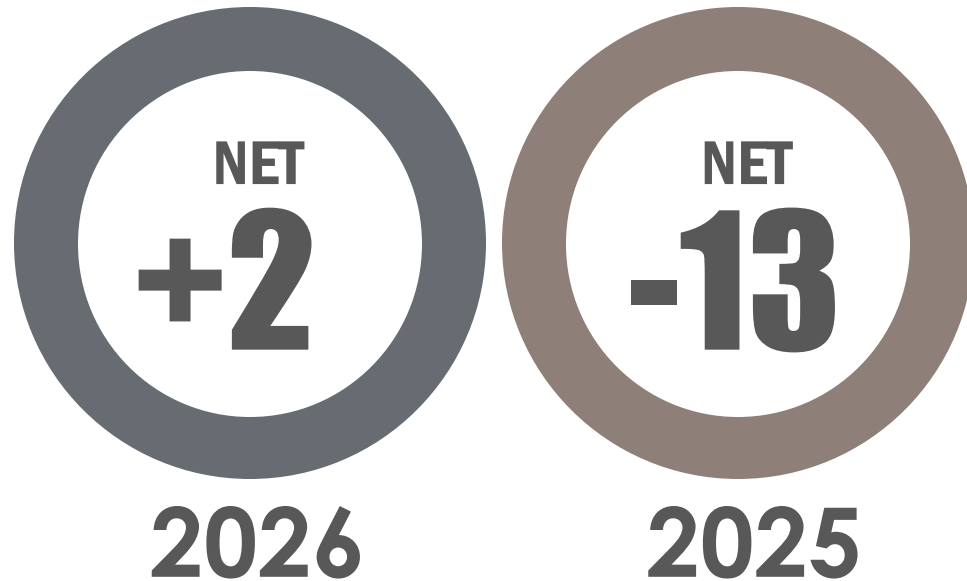
THE UPSTREAM PIPELINE IS FILLING

National consents, 12 months to July each year

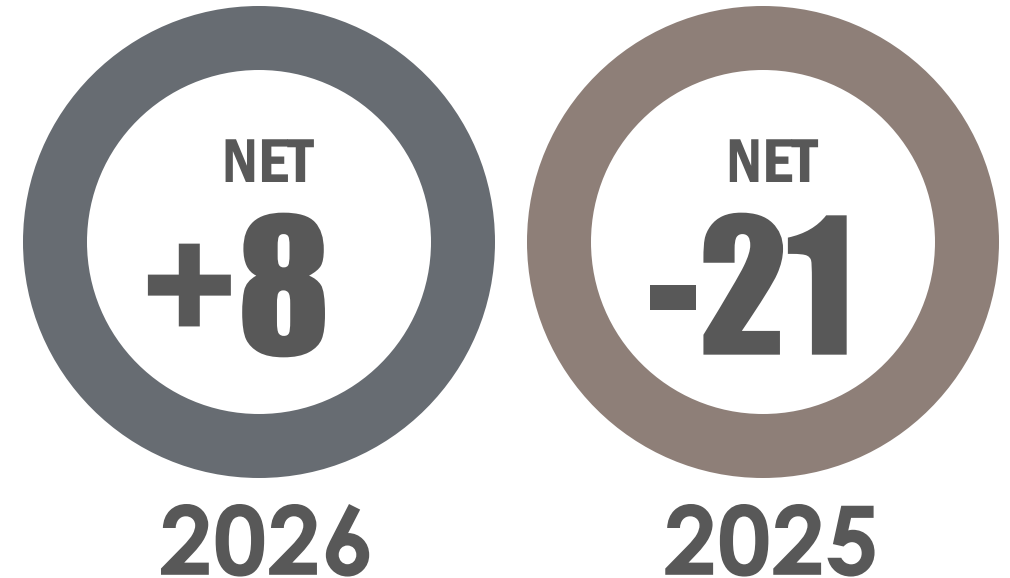


PROJECT PIPELINE

LEADS AND ENQUIRIES



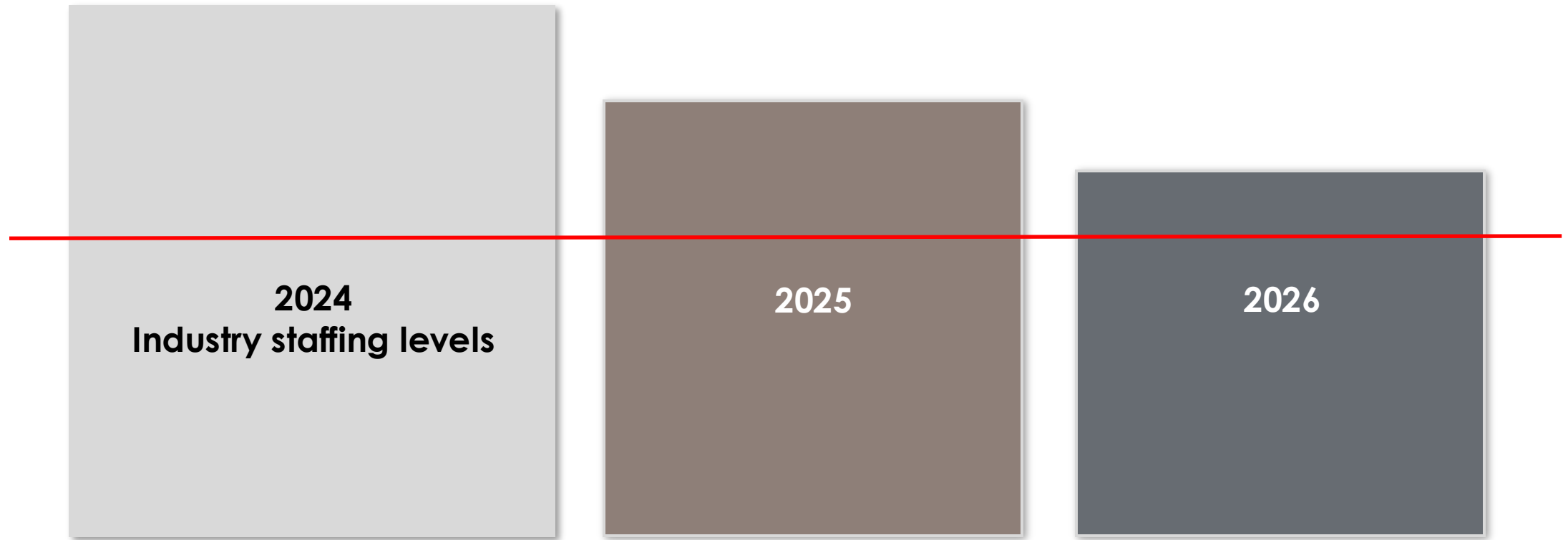
PROJECT STARTS



PROJECT PIPELINE

“ We are bidding on work that is well out of our lane to maintain the project pipeline. We have a dedicated bid team that does not do project work anymore. ”

RECOVERY, BUT OFF A SMALLER BASE



SPECIFIERS FORWARD WORKLOAD



2024



2025

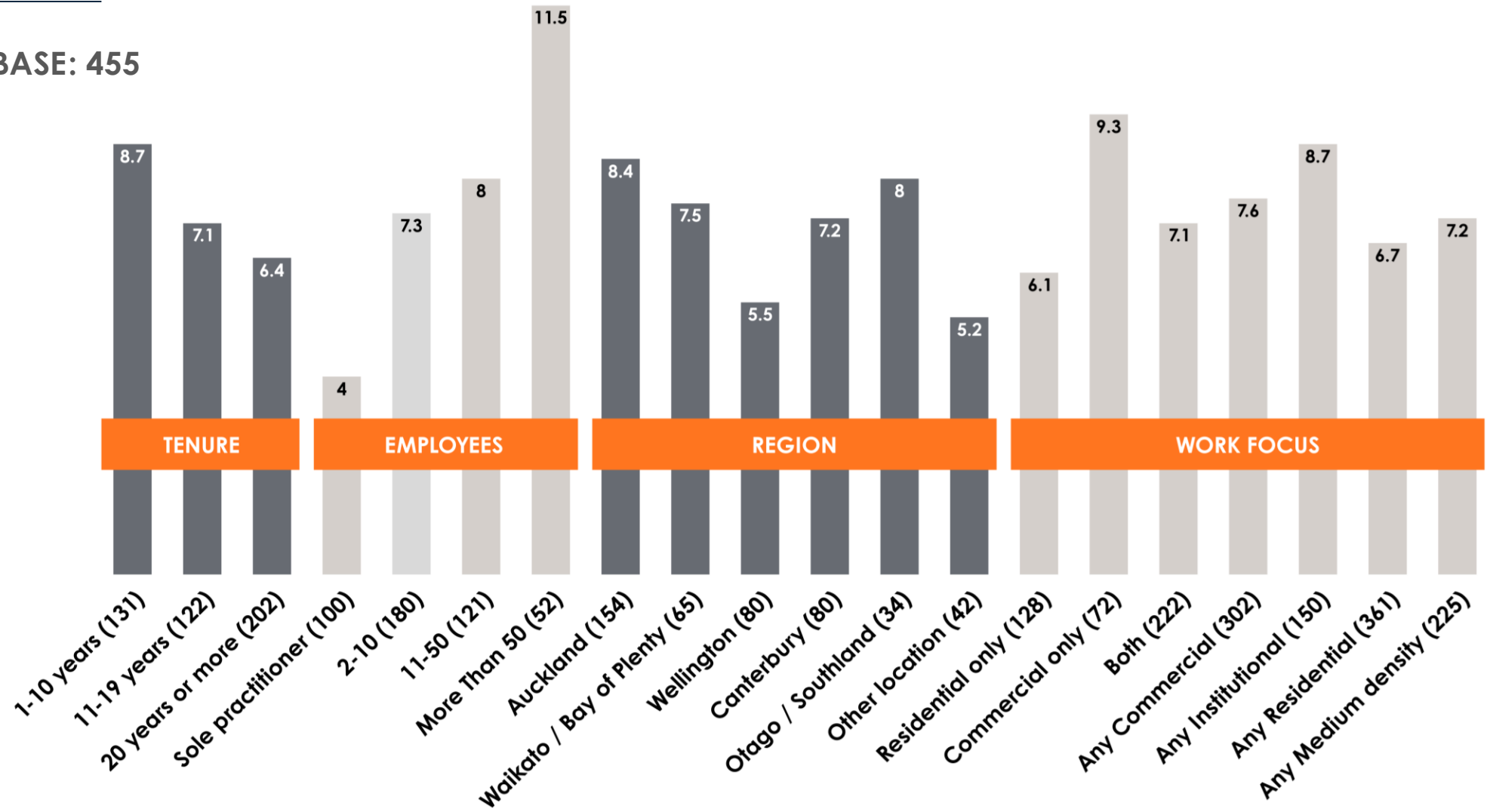


2026

RECOVERY, BUT UNEVENLY DISTRIBUTED

Specifier average amount of forward work (months)

BASE: 455



SPECIFIER PIPELINE

- Sole practitioners and Architectural Designers are finding it tough
- Wellington — no light at the end of the tunnel
- Canterbury & Otago — project starts outnumber leads
- Existing commercial projects starting



MANAGING THE PRACTICE

Leads are easier, profit and cashflow are not

**MANAGING
CASHFLOW**

**48%
HARDER**

**MAINTAINING
PROFIT**

**58%
HARDER**



INDUSTRY OUTLOOK

NEXT 12 MONTHS

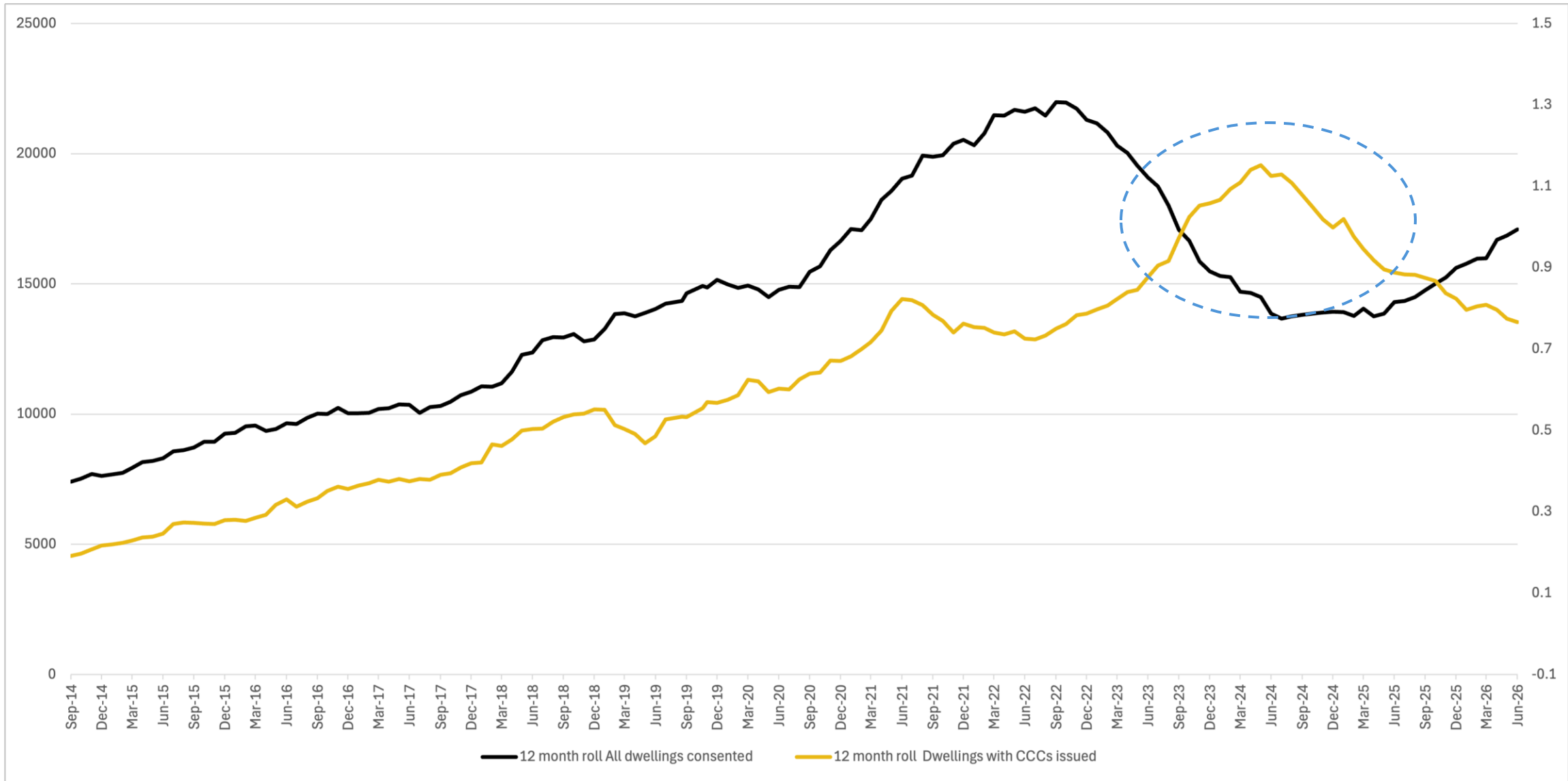


2026

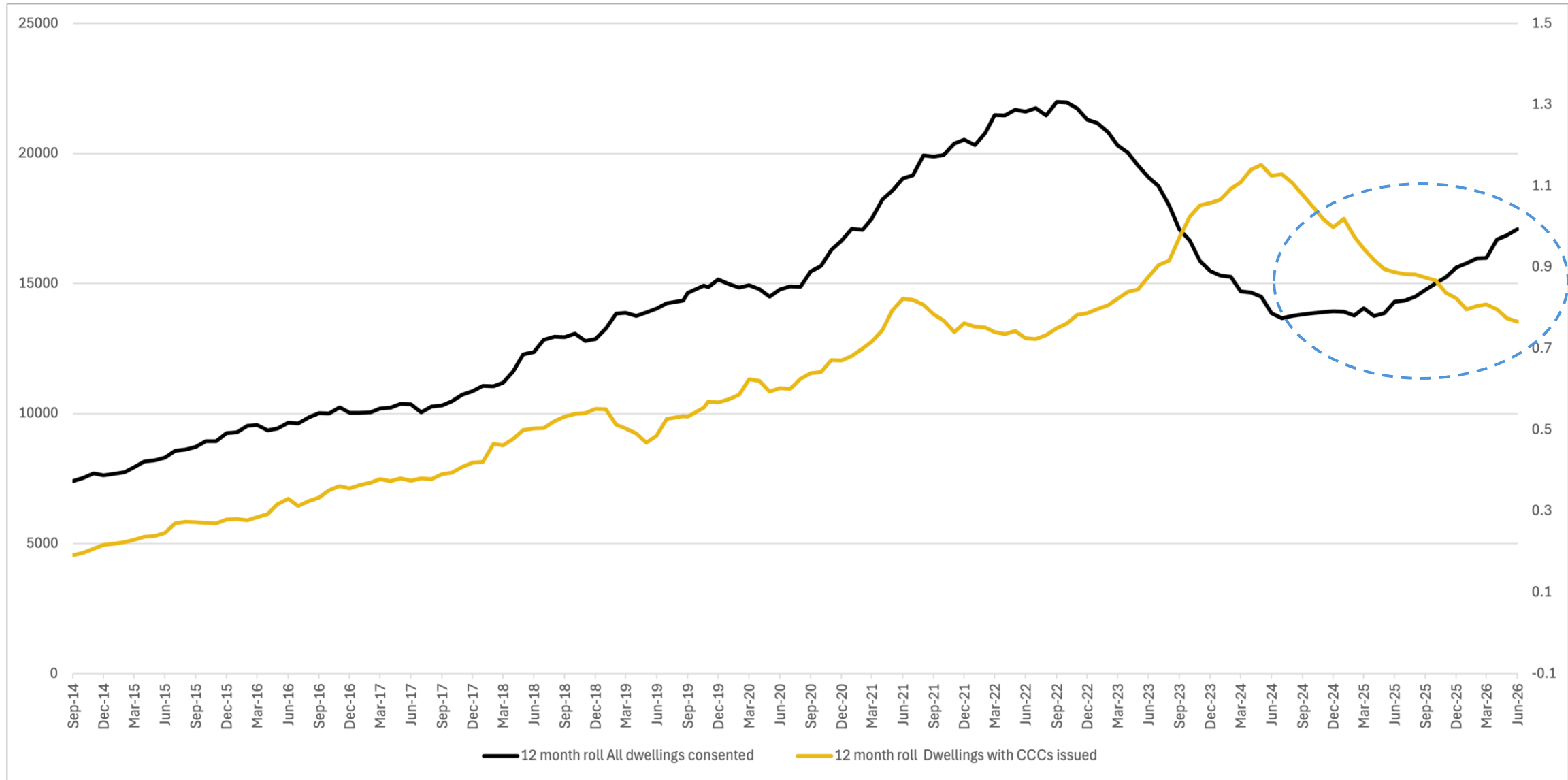


2025

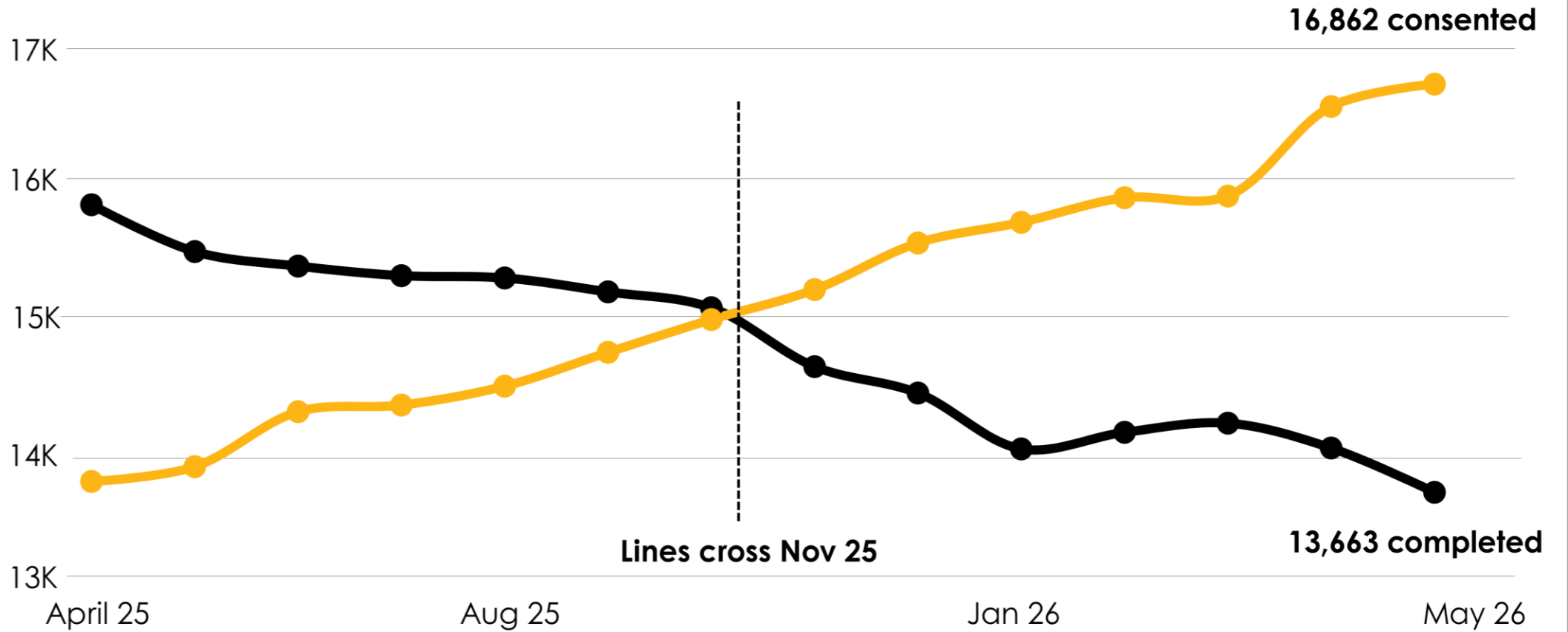
THE TALE OF AUCKLAND



THE TALE OF AUCKLAND



THE DIVERGENCE



Source: Auckland Residential Pipeline dataset (consents and cc records, all dwellings)

WHAT THE PIPELINE SAYS ABOUT NEXT YEAR

+15-20%

**THE VOLUME LEVEL ABOVE '25 TO PLAN
CAPACITY & INVENTORY AGAINST, THROUGH '27**

16,000+

**UNITS CONSENTED IN '26 IF HOLDS THE CURRENT GROWTH RATE
(13,767 IN 2025)**

AUCKLAND: THE TWO ENDS OF THE MARKET

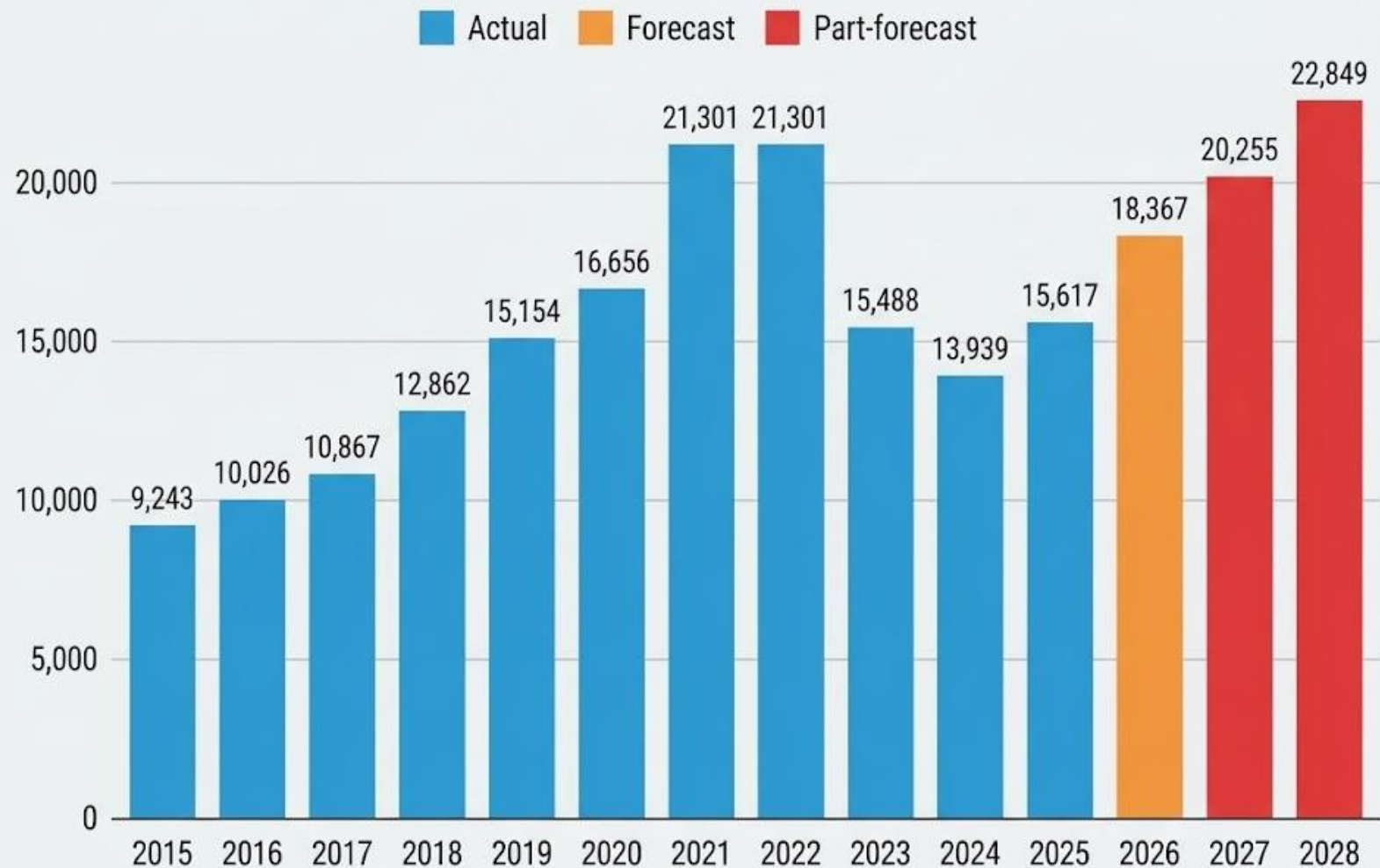
+63%

**SUB-\$600K HOUSES STARTING ON SITE:
1,649 IN JAN TO JUNE 2026, THE
VOLUME END OF THE HOUSE MARKET**

+17%

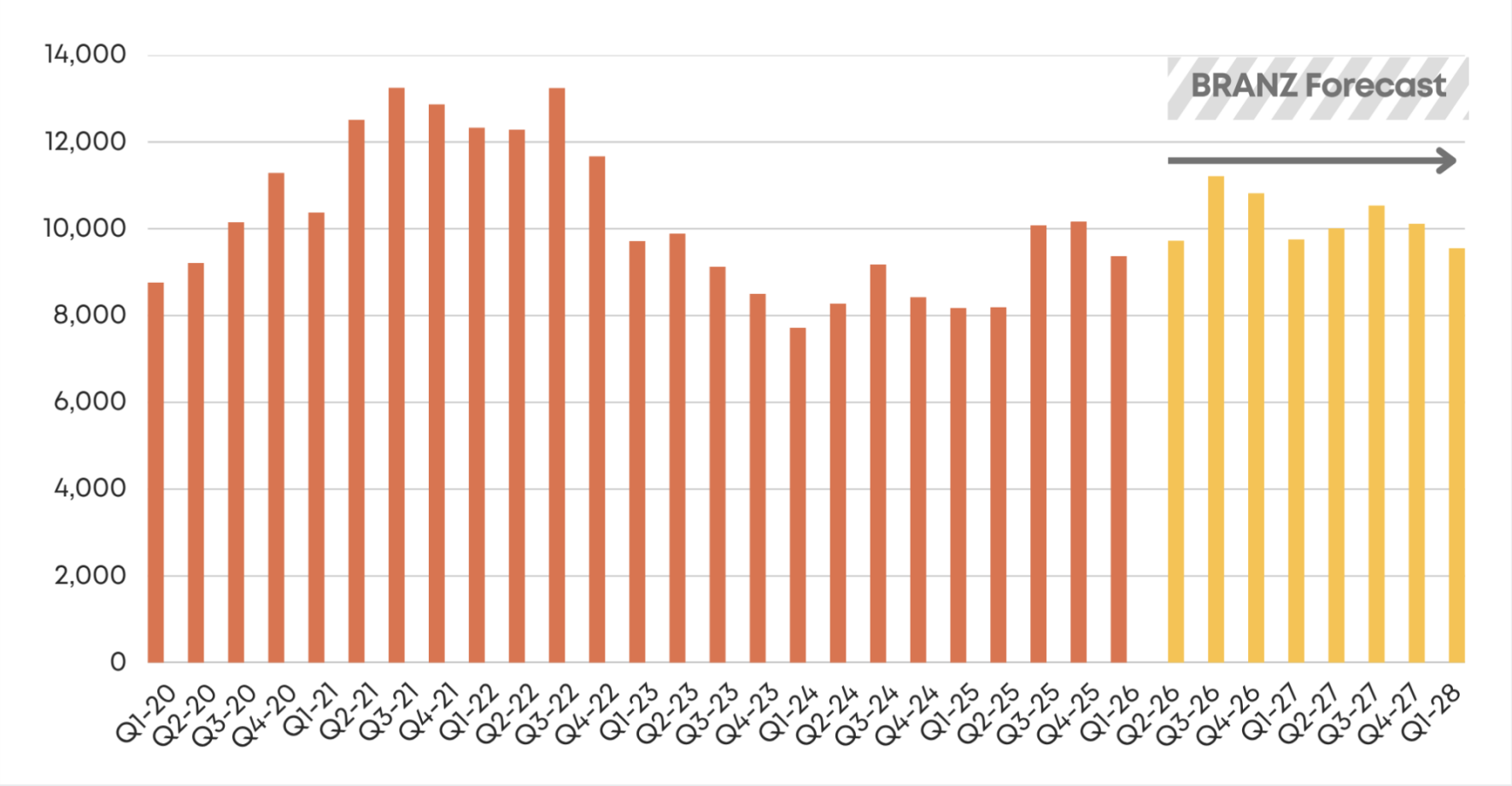
**\$1M+ ARCHITECTURAL HOMES STARTING:
215 UNITS, BREAKING GROUND ~48 DAYS
AFTER CONSENT**

Auckland new dwellings consented – annual total



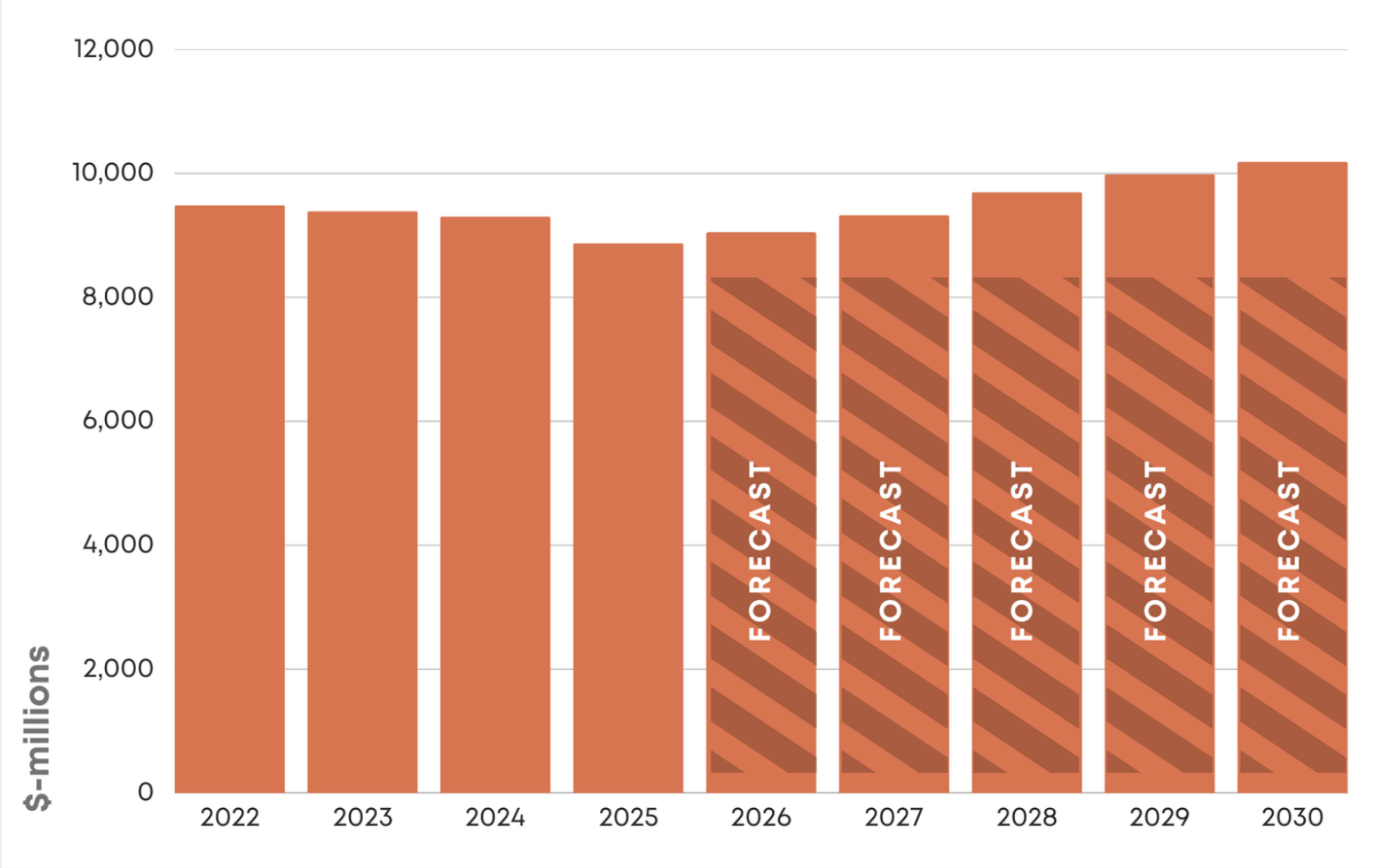
Residential Consent Actuals and Forecasts by Quarter

Nationwide Period: Q1-2020 to Q1-2028



Source: BRANZ Forecast

BRANZ Annual Commercial Consents Value - Actuals and Forecasts - *not adjusted for inflation*
Period: 2022 to 2030



Source: BRANZ

TAKEAWAYS

- Specifiers see light - more work is coming
- Big job getting consented work started
- Firms are smaller & cashflow is tight
- Looking for opportunities to grow and be more efficient



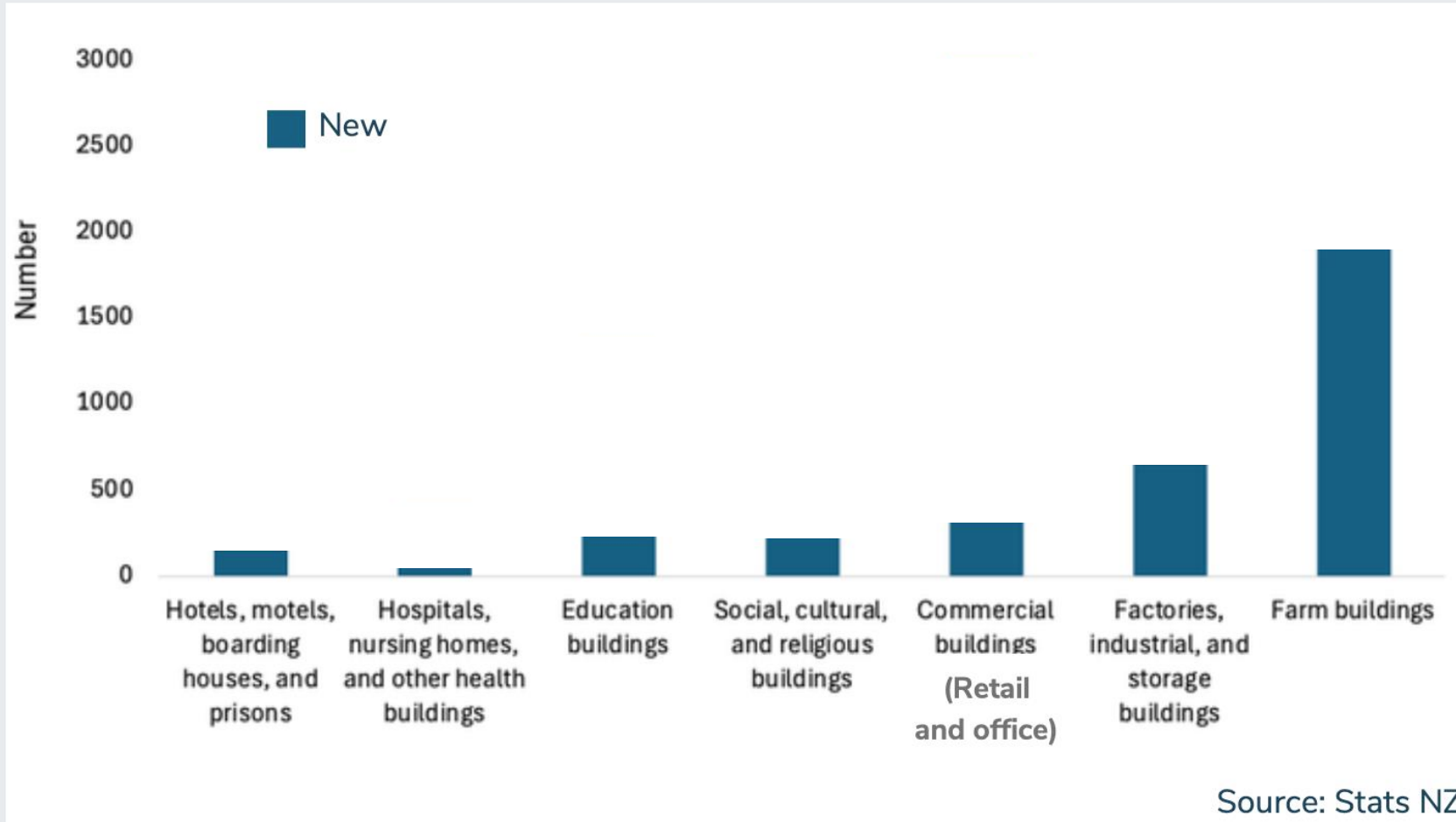
Two vertical bars of different heights, one dark brown and one light brown, positioned on the left side of the slide.

QUICK COMMERCIAL INSIGHTS

COMMERCIAL NEW BUILDS ONLY

Number of New Commercial Consent Approvals Year-ending Q1 | 2026

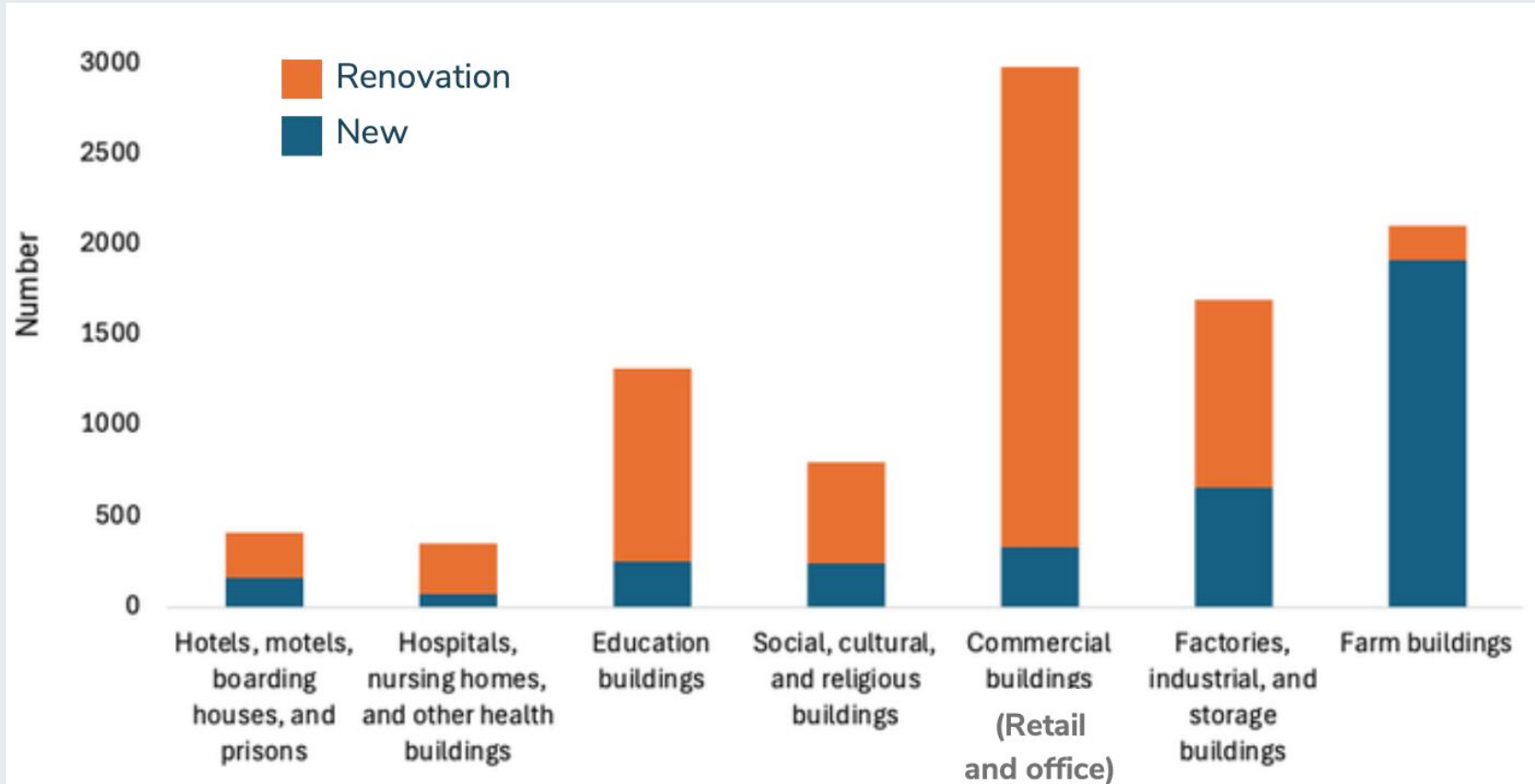
By Type and New vs Refit/Renovation



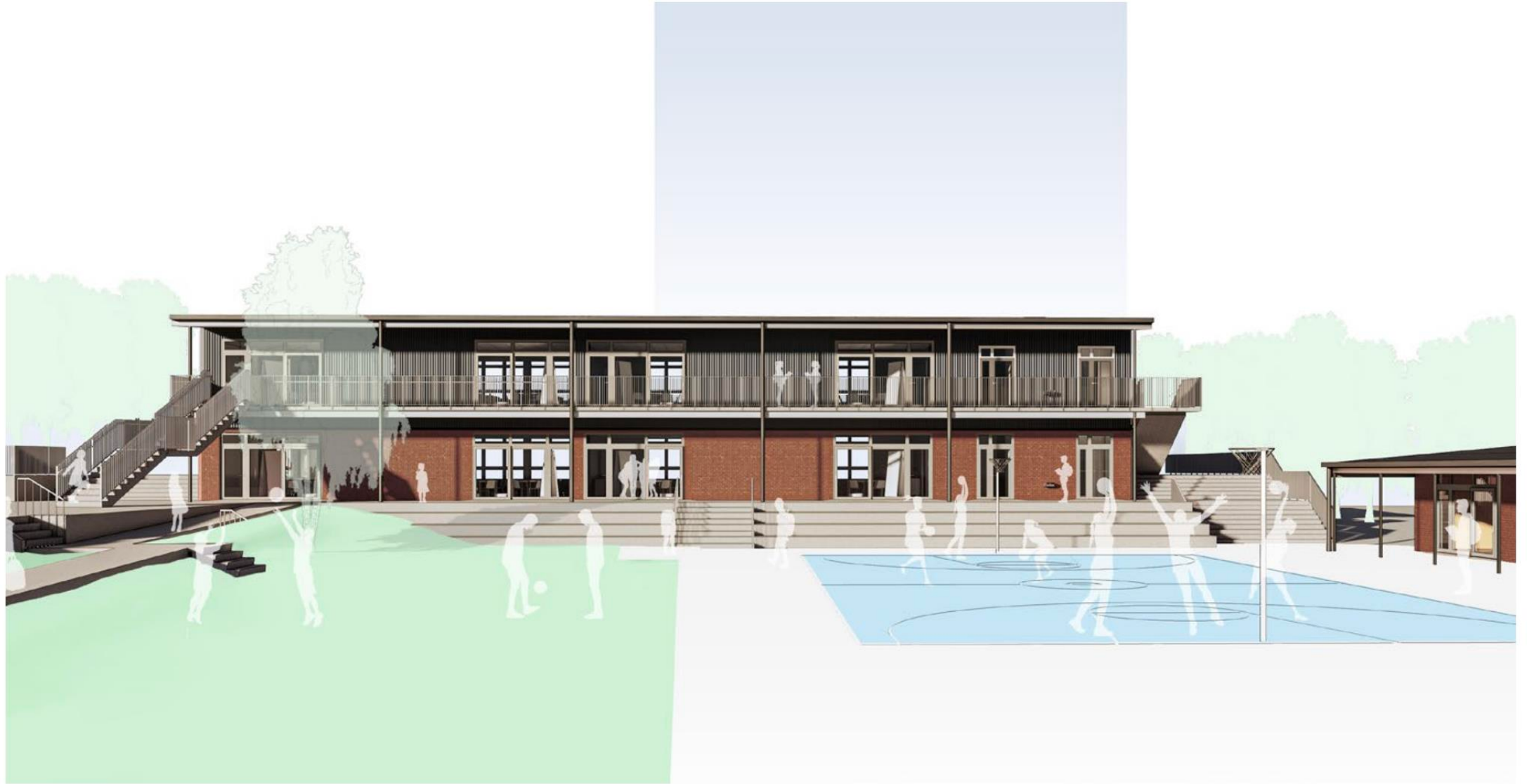
TOTAL COMMERCIAL

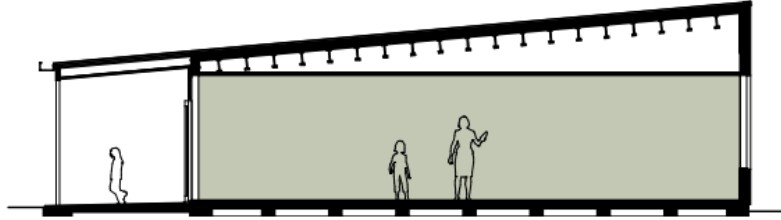
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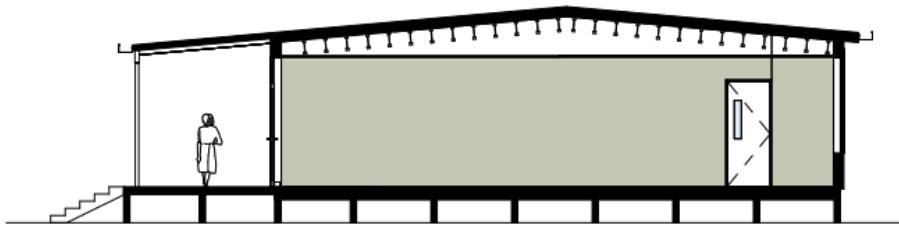
Source: Stats NZ





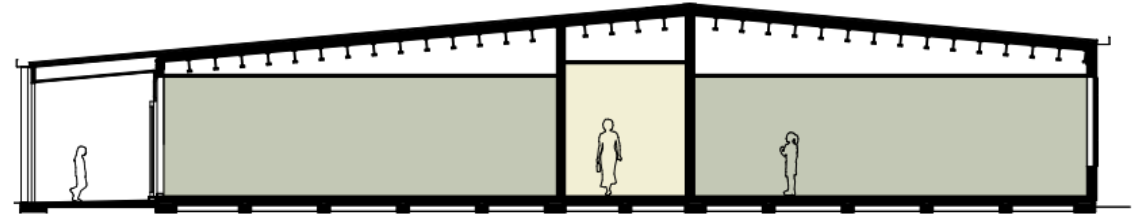
S1 – Single-depth, single-storey

2 - 6 teaching spaces



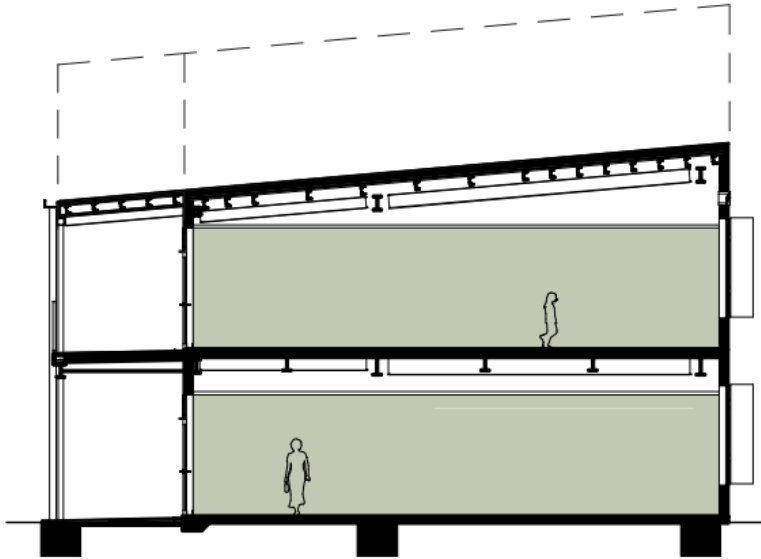
S1 – Single-depth, single-storey (gabled roof)

2 - 6 teaching spaces



D1 – Double-depth, single-storey

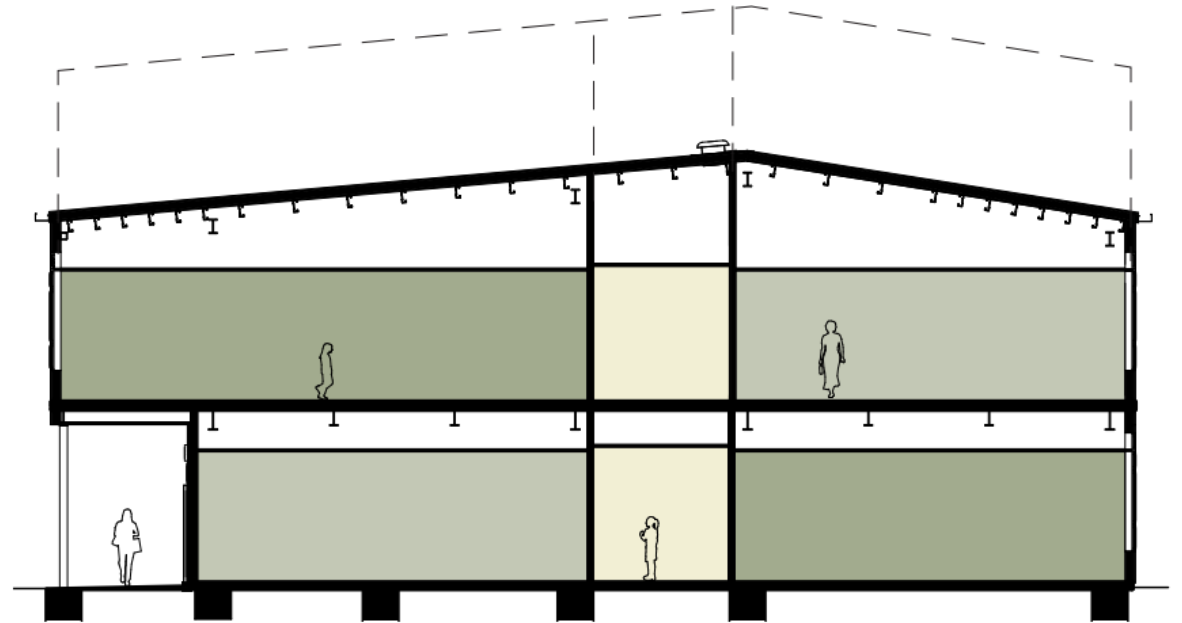
6 - 10 teaching spaces



S2 – Single-depth, two-storey

S3 – Single-depth, three-storey (shown dashed)

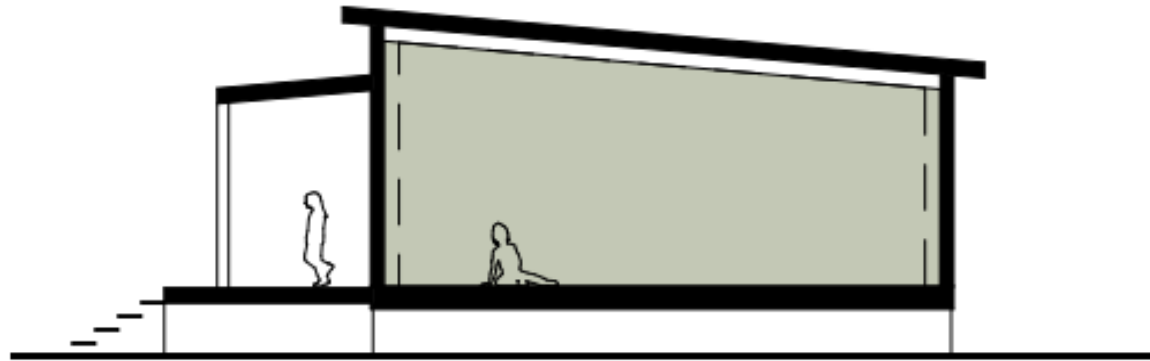
6 - 18 teaching spaces



D2 – Double-depth, two-storey

D3 – Double-depth, three-storey (shown dashed)

12 - 33 teaching spaces



OMB 2.5 – Relocatable, single-storey

1 - 4 teaching spaces



	Element	Options you can choose from	Finishes you can choose from
Exterior	Wall cladding	A - Profiled metal cladding	Standard range
		B - Brick or concrete masonry veneer	Standard range
		C - Painted fibre cement	Wide spectrum of paint finishes
	Roofing	NA (metal-clad warm roof)	Standard range
	Exterior windows and doors	NA (powder-coat finish aluminium frames)	Standard range

MOE BUILD PROGRAMME OVERVIEW

- Brand agnostic & fully competitive
- Construction methodology agnostic
- Imminent delivery pipeline
- Refurbishment (A&A) expansion horizon



SCHOOL DESIGNS

